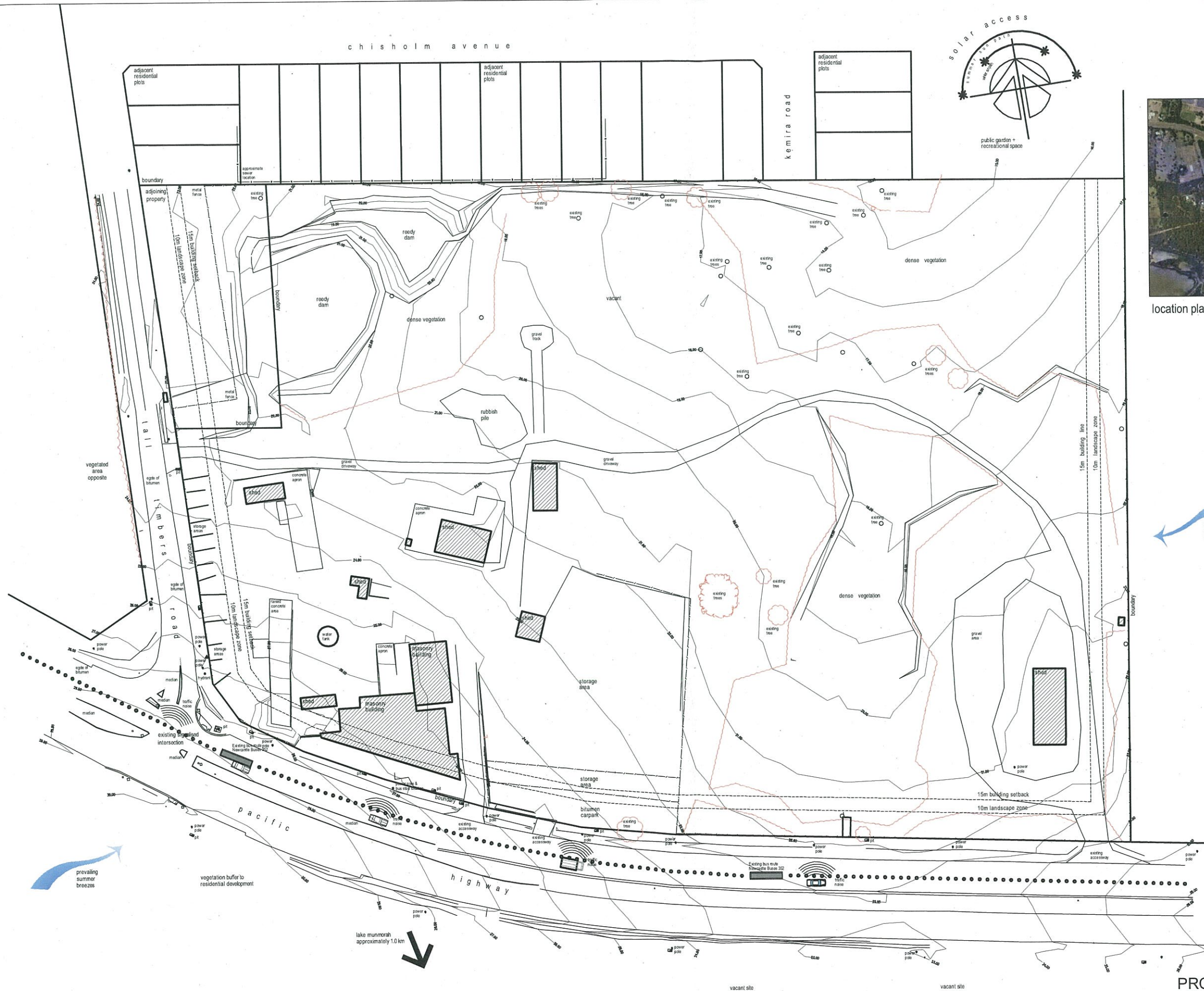


verify all dimensions on site prior to commencement of work
figured dimensions to be taken in preference to scaling

amendments			
no	details	by	date
A	for information and review	pf	27/04/11
B	for information	pf	09/05/11
C	for information and review	pf	13/05/11
D	Development Application	pf	24/05/11



location plan



**SITE ANALYSIS PLAN
PROPOSED VILLAGE CENTRE
CORNER PACIFIC HIGHWAY + TALL TIMBERS ROAD
LAKE MUNMORAH, NSW
FOR WOOLWORTHS LIMITED
10061 DA1.00 D**



verify all dimensions on site prior to commencement of work
figures dimensions to be taken in preference to scaling

amendments	
date	description
27/05/11	for information and review
09/05/11	for information and review
13/05/11	for information and review
24/05/11	Development Application

CAUTION - SERVICES LOCATIONS

THE POSITION OF SERVICES SHOWN ON THIS DRAWING ARE INDICATIVE ONLY AND HAVE BEEN PLOTTED FROM PLANS AND DRAWINGS SUPPLIED BY RELEVANT AUTHORITIES.

SERVICE AUTHORITY FITS, MANHOLE, POLES, MARKER POSTS, ETC., WHERE SIGHTED AT TIME OF SURVEY, HAVE BEEN LOCATED. THE SURVEY DOES NOT INCLUDE INVESTIGATION OR LOCATION OF UNDERGROUND INFRASTRUCTURE.

SERVICES INFORMATION SHOWN ON THIS DRAWING HAS BEEN OBTAINED THROUGH A DIAL BEFORE YOU DIG SEARCH AND IS VALID FOR THE PERIOD OF TIME FROM THE DATE OF ISSUE INDICATED BY THE AUTHORITY.

PRIOR TO ANY REDEMPTION, EXCAVATION OR CONSTRUCTION ON OR ADJACENT TO THE SITE IT IS THE RESPONSIBILITY OF THE DEVELOPER AND CONTRACTORS TO APPLY FOR AND OBTAIN UP TO DATE PLANS THROUGH A NEW DIAL BEFORE YOU DIG SEARCH AND TO CONTACT ALL THE RELEVANT AUTHORITIES TO ESTABLISH AND CONFIRM THE DETAILED LOCATION AND DEPTH OF ALL UNDERGROUND SERVICES.

- NOTE:**
- THE BEARINGS SHOWN FOR BOUNDARIES ON THIS DRAWING HAVE BEEN TAKEN FROM DEPOSITED PLANS ON PUBLIC RECORD WITH THE LAND & PROPERTY MANAGEMENT AUTHORITY. IF ACCURATE GRID/TRUE NORTH IS REQUIRED FOR CRITICAL SURVEY, FURTHER SURVEY MAY BE REQUIRED.
 - BEARINGS & DISTANCES ARE BY TITLE ONLY. NO BOUNDARY INVESTIGATION HAS BEEN CARRIED OUT.
 - RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGNOSTIC ONLY. WHERE OFFSETS ARE CRITICAL, THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
 - CONTOURS SHOWN DEPICT THE TOPOGRAPHY. SPOT LEVELS SHOULD BE TAKEN IN PREFERENCE TO CONTOURS. CONTOURS DO NOT REPRESENT THE EXACT LEVEL AT ANY POINT.
 - SEWER INVERTS SHOWN, UNLESS OTHERWISE INDICATED, HAVE BEEN OBTAINED FROM THE RELEVANT AUTHORITY.

- LEGEND**
- Sewer main
 - Sewer manhole
 - Water main
 - Water hydrant
 - Water stop valve
 - Telephone
 - Telephone manhole
 - Gas main
 - Electricity power pole
 - Electricity overhead cables
 - Electricity underground cables
 - Bench mark
 - Top of roof gutter
 - Tree (Canopy spread, trunk diameter)
 - Tree (Tree number)

TREE SCHEDULE

TAG	SPECIES	HEIGHT	ORIG	COMMENTS
1	Eucalyptus	12	12	Hollow
2	Acacia	15	12	Scratches
3	Eucalyptus	10	11	Hollow
4	Eucalyptus	9	12	
5	Eucalyptus	8	0.9	Juveniles
6	Eucalyptus	12	11	
7	Eucalyptus	10	1.0	
8	Quercus	10	1.4	
9	Eucalyptus	10	1.4	
10	Eucalyptus	9	1.0	
11	Eucalyptus	10	0.9	
12	Quercus	14	2.2	
13	Quercus	10	1.0	1 Hollow
14	Eucalyptus	8	2.1	2 Hollows
15	Eucalyptus	9	0.9	2 Hollows
16	Eucalyptus	9	0.9	2 Hollows
17	Eucalyptus	11	1.1	2 Hollows
18	Eucalyptus	12	2.1	4 Hollows
19	Acacia	10	1.1	2 Hollows
20	Eucalyptus	9	1.7	3 Hollows
21	Eucalyptus	9	0.9	1 Hollow
22	Angophora	19	2.3	5+ Hollows

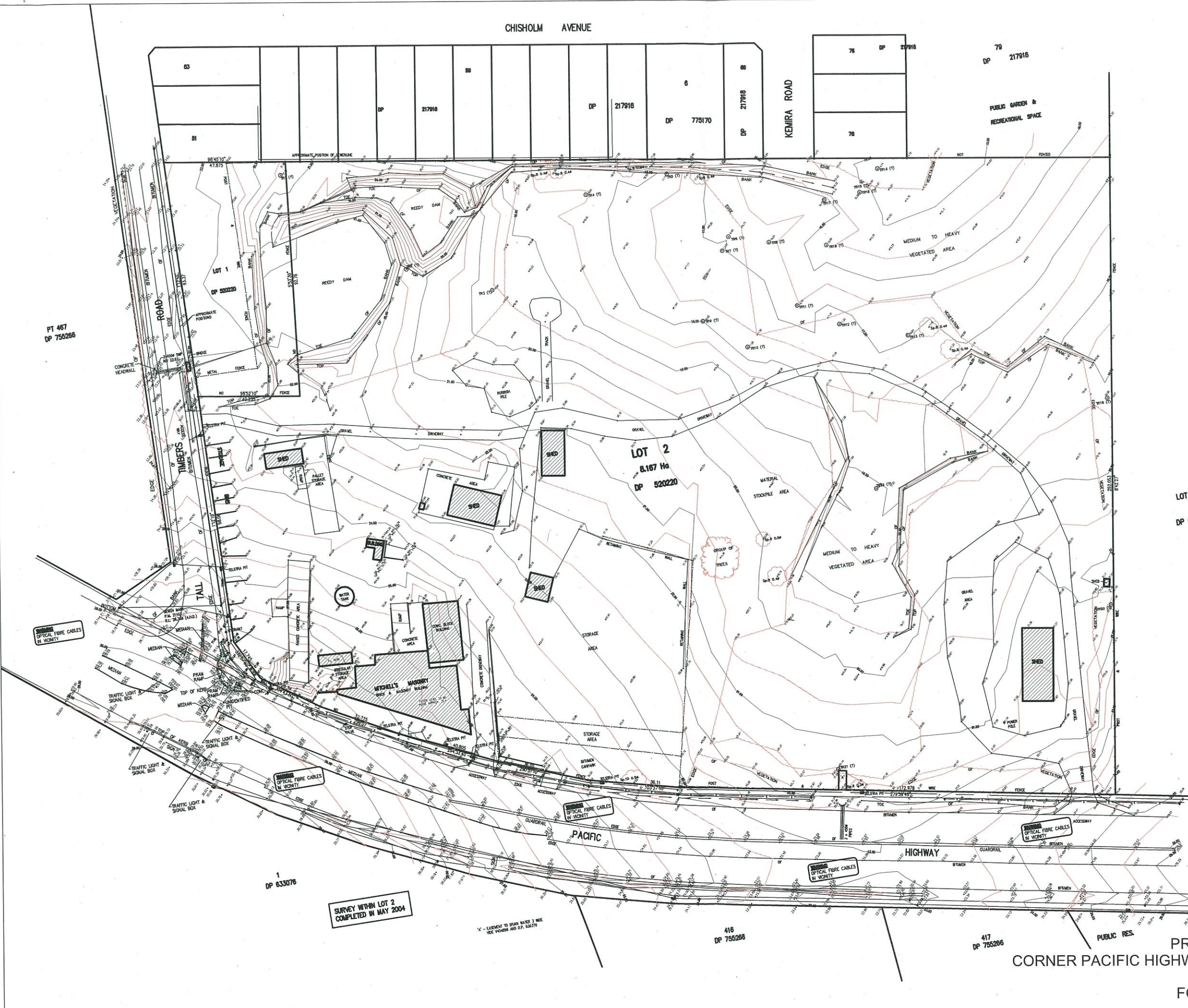
ORIGIN OF LEVELS: PM 21103
RL 26.358 (MVD)

TREY INSOLD MEATE

ONR: RELIANCE DRIVE AND COLONY CLOSE
TUGGERAH NSW 2259
Phone: (02) 4201 2233
Fax: (02) 4201 1959
Postal: P.O. BOX 3825
TUGGERAH NSW 2259
Email: trey@treysurvey.com.au
www.treysurvey.com.au

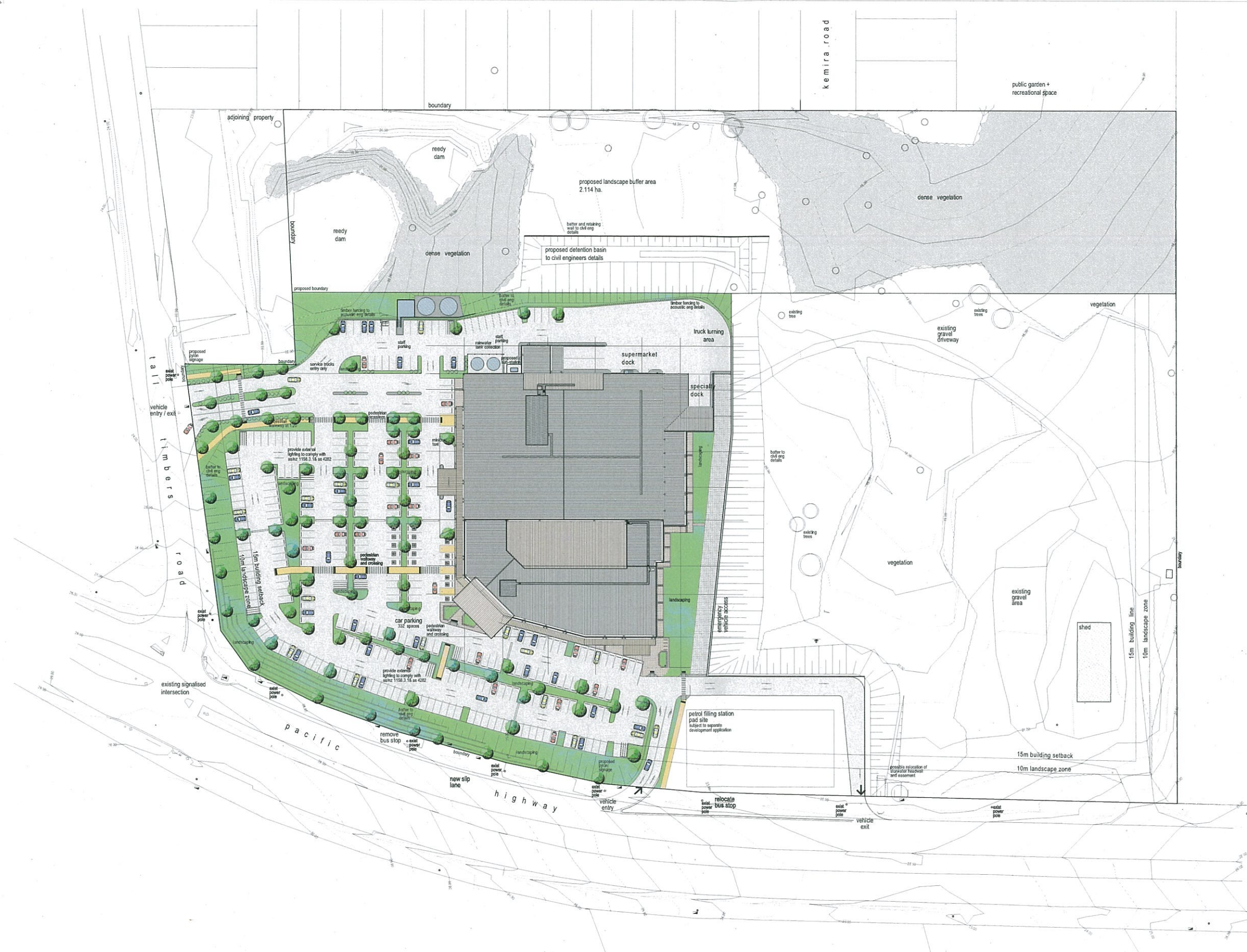


SURVEY PLAN
PROPOSED VILLAGE CENTRE
CORNER PACIFIC HIGHWAY + TALL TIMBERS ROAD
LAKE MUNMORAH, NSW
FOR WOOLWORTHS LIMITED
10061 DA1.07 D



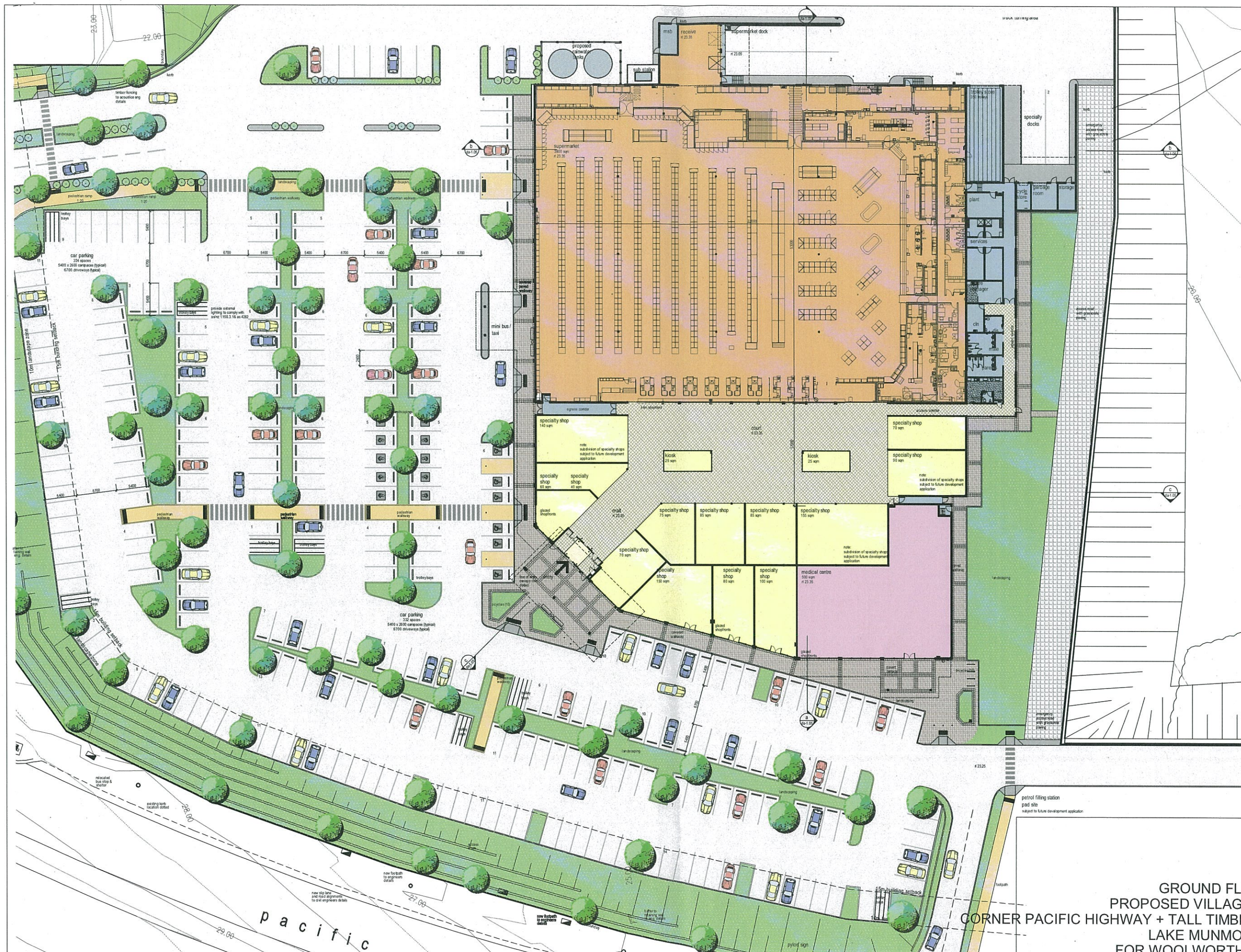
verify all dimensions on site prior to commencement of work
 Figure dimensions to be taken in preference to scaling

issue	details	by	date
A	for information and review	pl	27 04 11
B	for information and review	pl	09 05 11
C	for information and review	pl	13 05 11
D	for information and review	pl	17 05 11
E	for information and review	pl	18 05 11
F	for information and review	pl	20 05 11
G	Development Application	pl	24 05 11
H	Vehicle and to Pacific Hwy amended	pl	09 06 11
J	Issue for client's review	pl	12 07 11
K	Issue for client's review	pl	25 07 11
L	Revised Development Application	pl	26 07 11
M	Revised Development Application	pl	04 08 11



SITE PLAN
PROPOSED VILLAGE CENTRE
CORNER PACIFIC HIGHWAY + TALL TIMBERS ROAD
LAKE MUNMORAH, NSW
FOR WOOLWORTHS LIMITED
10061 DA1.02 M





amendments	date	by	date
A. for information and review	27.04.11		
B. for information	08.05.11		
C. for information and review	13.05.11		
D. for information and review	17.05.11		
E. for information and review	18.05.11		
F. for information and review	18.05.11		
G. Development Application	24.05.11		
H. issue for client's review	12.07.11		
J. issue for client's review	28.07.11		
L. Revised Development Application	28.07.11		

calculations		
gross lettable area (retail)	3 800 sqm	
supermarket	1 200 sqm	
speciality shops	50 sqm	
kiosks	50 sqm	
total	5 050 sqm	

gross lettable area (medical)	500 sqm	
total gla	5 550 sqm	

carparking		
retail		
minimum required by council dcp	308 car spaces	
(6.1 cars/100sqm gla 5050sqm)		
medical		
1 car / staff	6 car spaces	
3 cars/ surgery	16 car spaces	
total cars required	330 car spaces	
total cars provided	332 car spaces	

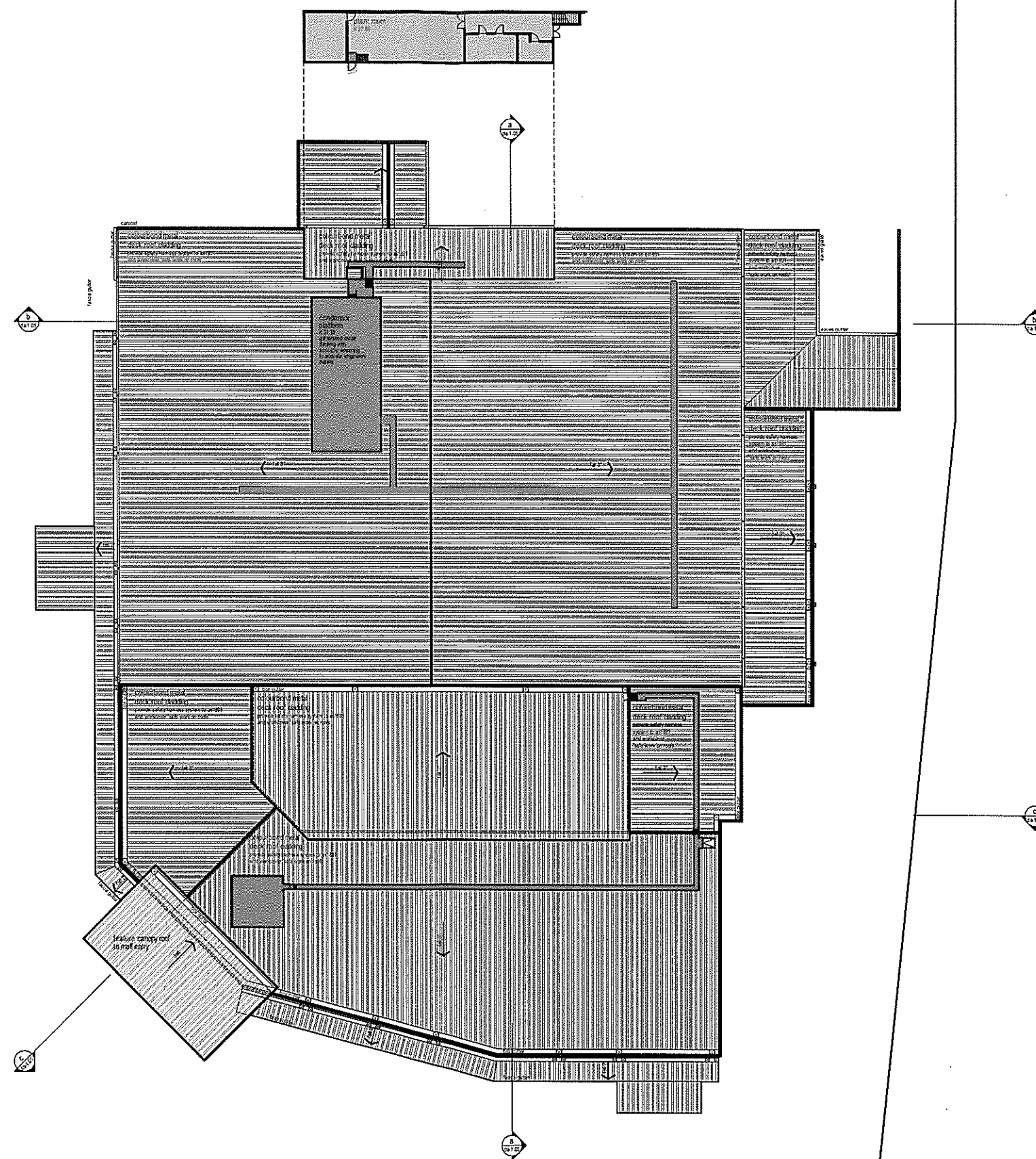


GROUND FLOOR PLAN
PROPOSED VILLAGE CENTRE
CORNER PACIFIC HIGHWAY + TALL TIMBERS ROAD
LAKE MUNMORAH, NSW
FOR WOOLWORTHS LIMITED
10061 DA1.03 L



verify all dimensions on site prior to commencement of work
typical dimensions to be taken in preference to notes

amendments			
no.	date	by	app.
A	for information and review	pl	27/04/11
B	for information	pl	05/05/11
C	for information and review	pl	10/05/11
D	for information and review	pl	20/05/11
E	for information and review	pl	24/05/11
F	for information and review	pl	12/07/11
G	for information and review	pl	20/07/11

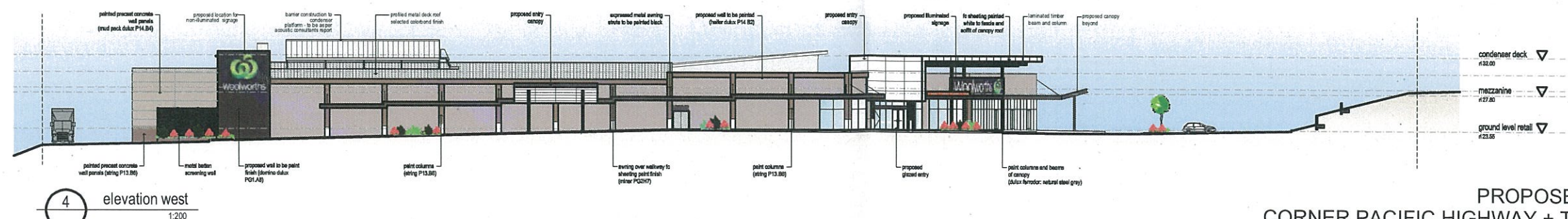
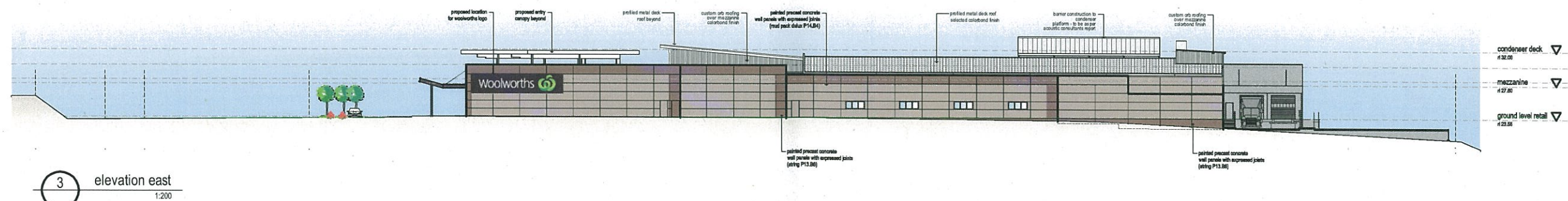
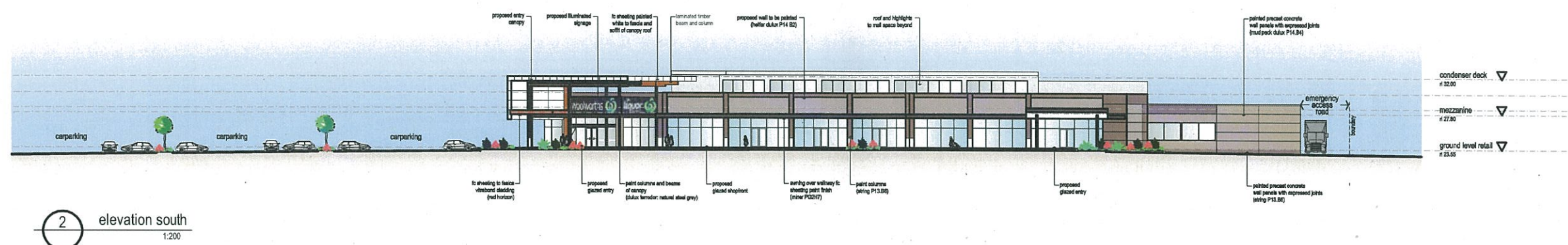
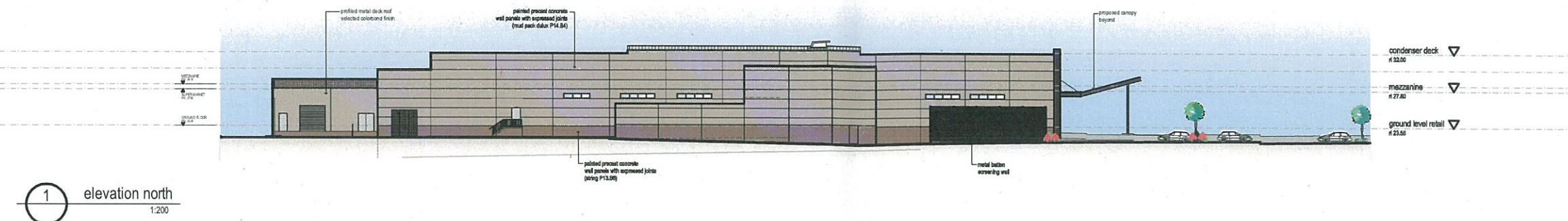


MEZZANINE + ROOF PLAN
PROPOSED VILLAGE CENTRE
CORNER PACIFIC HIGHWAY + TALL TIMBERS ROAD
LAKE MUNMORAH, NSW
FOR WOOLWORTHS LIMITED
10061 DA1.04 G



verify all dimensions on site prior to commencement of work
figured dimensions to be taken in preference to scaling

revision	details	by	date
A	for information and review	af	27.04.11
B	for information	af	09.05.11
C	for information and review	af	13.05.11
D	for information and review	af	24.05.11
E	revised drawing for client review	pc	12.07.11
F	addition of windows to sign on west elevation	pc	13.07.11
G	addition of windows on elevation	pc	14.07.11
H	for information and review	af	20.05.11
J	Revised Development Application	af	28.07.11

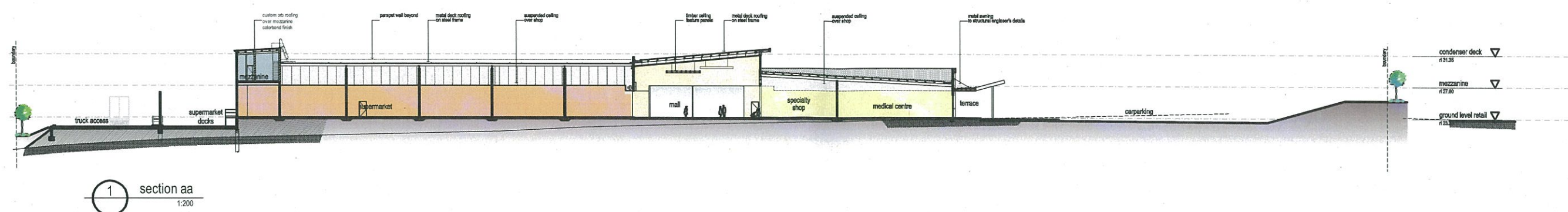


ELEVATIONS
PROPOSED VILLAGE CENTRE
CORNER PACIFIC HIGHWAY + TALL TIMBERS ROAD
LAKE MUNMORAH, NSW
FOR WOOLWORTHS LIMITED
10061 DA1.06 J

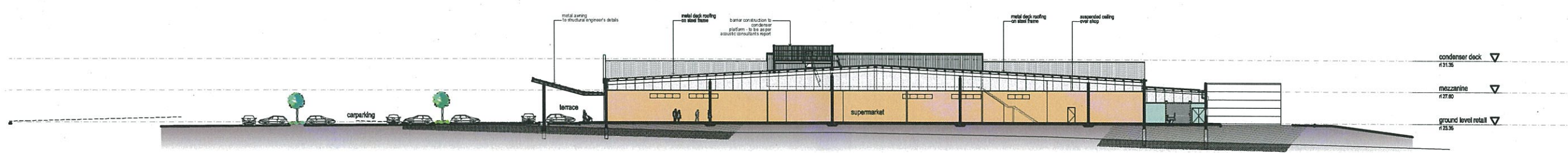


verify all dimensions on site prior to commencement of work
figural dimensions to be taken in preference to scaling

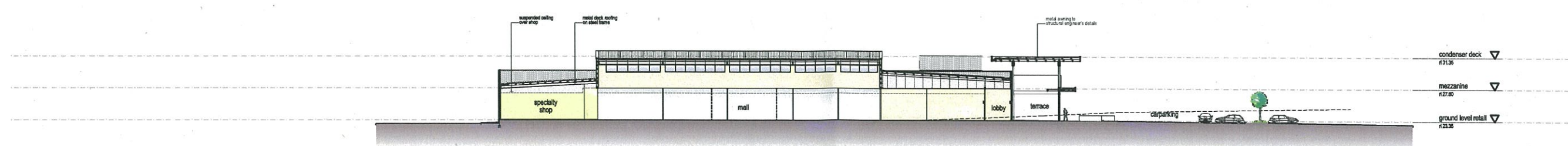
amendments			
issue	details	by	date
A	for information and review	af	27.04.11
B	for information and review	af	19.05.11
C	for information and review	af	13.05.11
D	Development Application	af	24.05.11
E	issue for client's review	af	12.07.11
F	Revised Development Application	af	26.07.11



1 section aa
1:200



2 section bb
1:200

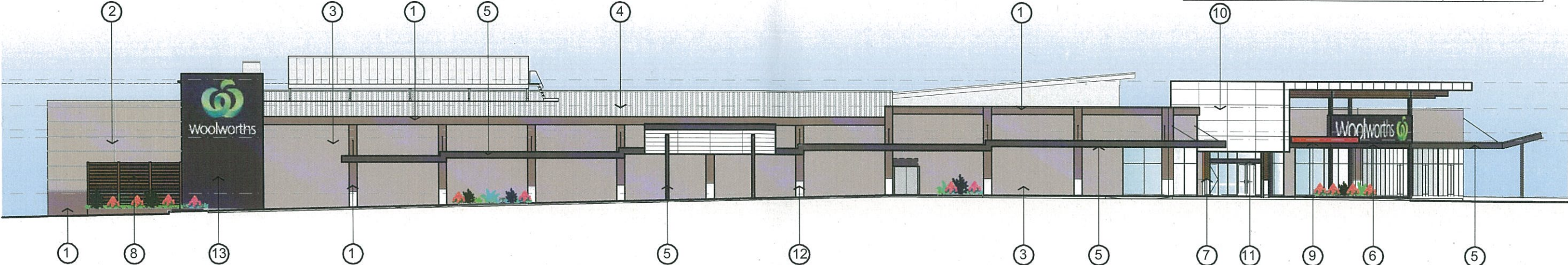


3 section cc
1:200



verify all dimensions on site prior to commencement of work
figured dimensions to be taken in preference to scaling

amendments			
issue	details	by	date
A	Development Application	pf	24 05 11
B	Revised colour scheme	pc	13 07 11
C	Revised colour scheme	pc	14 07 11
D	Revised Development Application	pf	26 07 11



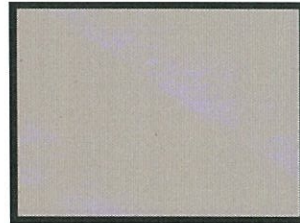
1.walls / columns
product: dulux paint finish
colour: 'String' P13B6



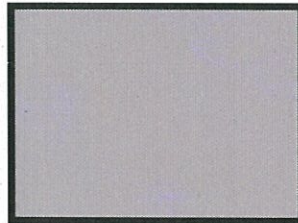
2.walls
product: dulux paint finish
colour: 'Mud Pack' P14B4



3.walls
product: dulux paint finish
colour: 'Heifer' P14B2



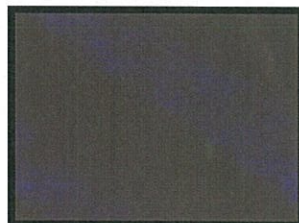
4.roofing & rain water goods
product: colourbond metal deck roof
colour: 'Shale grey'



5.awning fascia
product: FC sheeting dulux paint finish
colour: 'miner' PG2H7



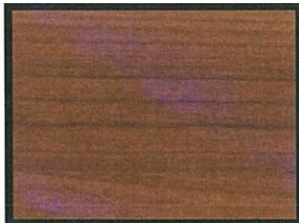
6.steel columns / beams / wall
product: dulux ferrodor protective coating
colour: 'natural steel grey'



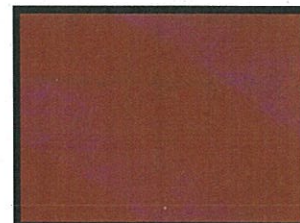
7.entry roof structure
product: natural hardwood
colour: protective varnish



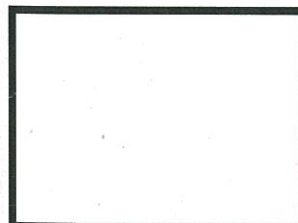
8.fences
product: metalart timeless timber
colour: casuarina



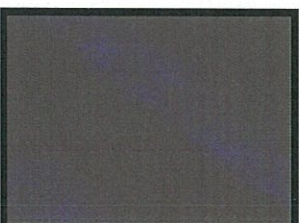
9.entry elements
product: vitrabond fc panel
colour: 'Red Horizon'



10.entry elements
product: FC sheeting dulux paint finish
colour: 'white'



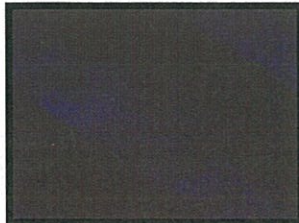
11.frames and glazing
frames: powdercoat aluminium -
colour: dulux 'woodland grey'
glazing: virdian - comfort plus 'neutral'



12.columns
product: stainless steel
finish: brushed



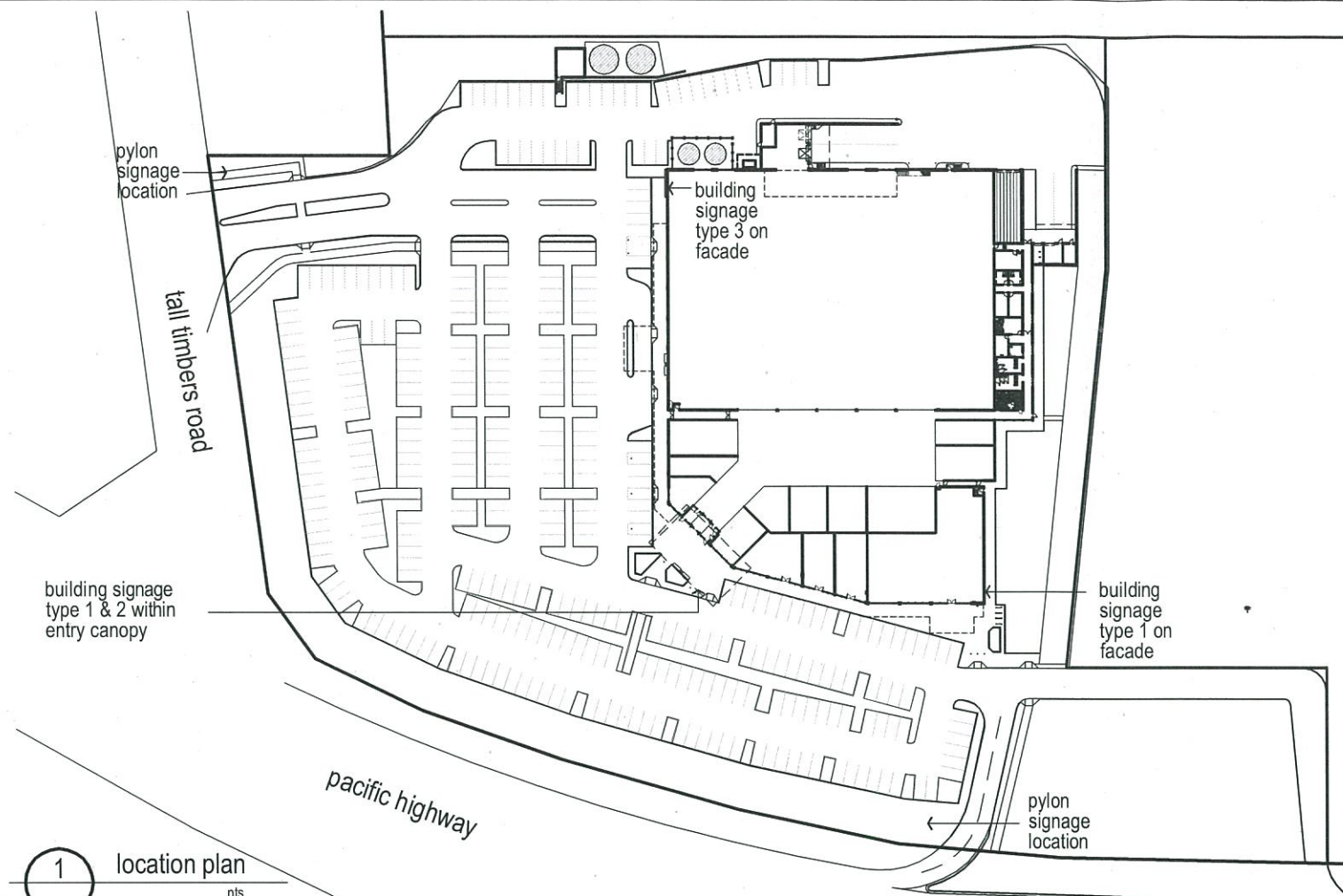
13.walls
product: dulux paint finish
colour: 'domino' PG1A8



FINISHES SCHEDULE
PROPOSED VILLAGE CENTRE
CNR PACIFIC HIGHWAY + TALL TIMBERS ROAD
LAKE MUNMORAH N.S.W
FOR WOOLWORTHS LIMITED
10061 DA 1.08 D

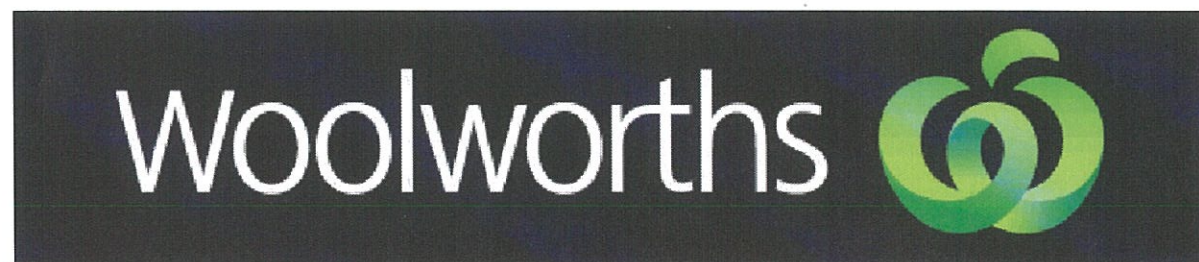
verify all dimensions on site prior to commencement of work
figured dimensions to be taken in preference to scaling

amendments			
issue	details	by	date
A	for information and review	pf	130511
B	Development Application	pf	240511
C	Revised Development Application	pf	260711



1 location plan
nts

8 775



2 building signage type 1
nts

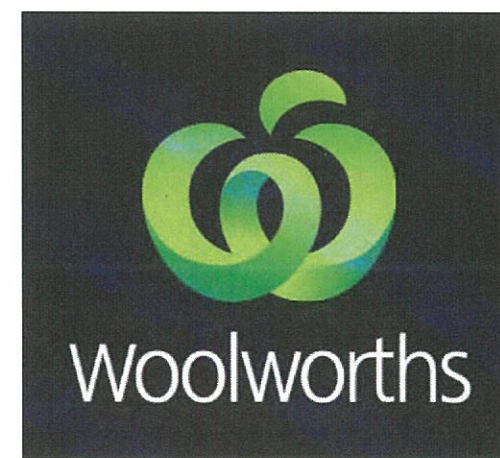
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3 building signage type 2
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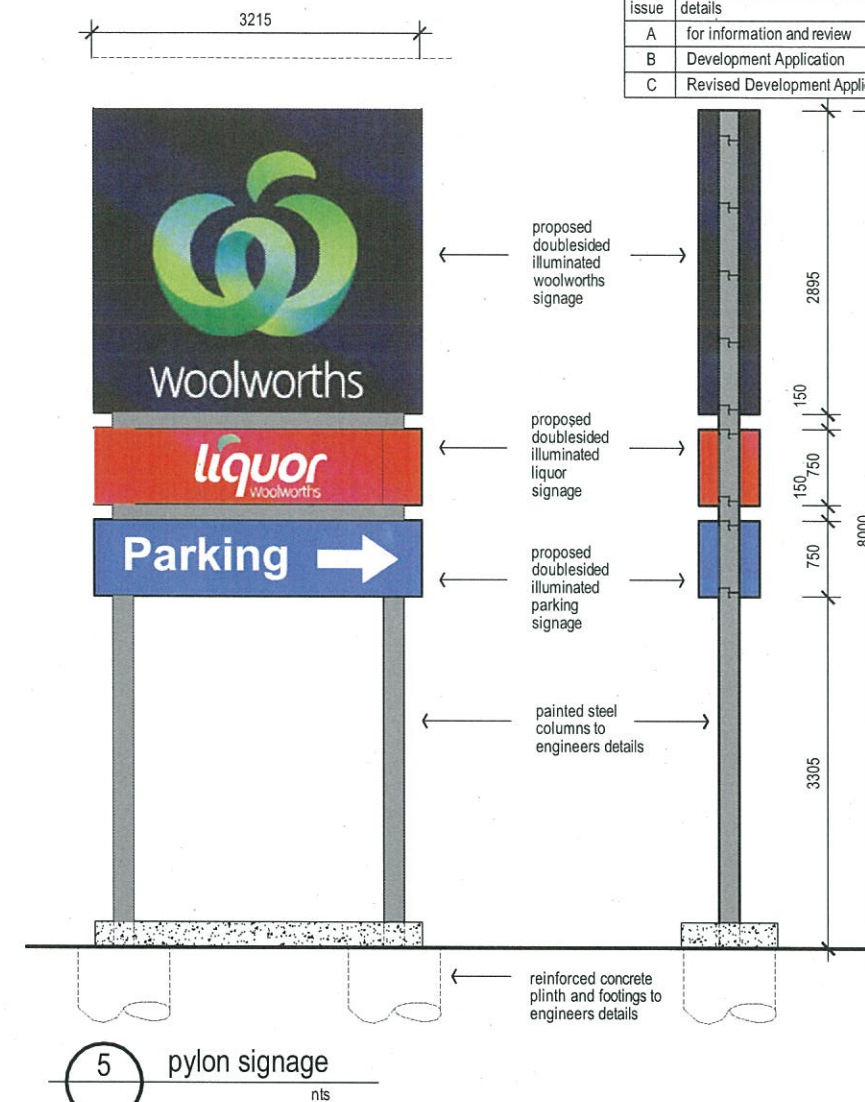
1 875

6 430



4 building signage type 3
nts

5 787



5 pylon signage
nts

